



Received
05/04/2020

May 3, 2020

Wisconsin Department of Natural Resources
Bureau for Remediation and Redevelopment/Environmental Management Division
Attn: Janet DiMaggio, P.G.
3911 Fish Hatchery Road
Fitchburg, WI 53711

Janet.DiMaggio@wisconsin.gov

RE: Proposed Riverbend Stadium Project
WP&L Coal Gas Site, 11 Shirland Av., Beloit, WI - WDNR BRRTS Activity No. 02-54-001302
Country Store West, 202 Shirland Av., Beloit, WI – WDNR BRRTS Activity No. 03-54-202856
Request for Preliminary Decision on Post Closure Modification

Dear Ms. DiMaggio,

On the behalf of our client Hendricks Commercial Properties and the Riverbend Stadium Authority Inc., we are submitting a request for a preliminary decision on Post Closure Modification for the former WP&L Coal Gas site located at 11 Shirland Avenue, in Beloit, WI and the Country Store West site located at 202 Shirland Avenue, in Beloit, WI. Both sites are part of the proposed Riverbend Stadium project, with the main stadium on the north side of Shirland Avenue, and parking lot on the south side of Shirland Avenue.

Proposed site redevelopment includes the construction of a new baseball stadium – Riverbend Stadium, to house the Beloit Snappers and associated infrastructure as shown in Attachment A – Site Layout Plan. The proposed improvements involve site regrading, utility installation, building construction, and athletic field construction.

Brownfield completed a Phase I Environmental Site Assessment for the WP&L site on the north side of Shirland Avenue, which is included for reference as Attachment B. The Phase I includes a comprehensive historical summary of the sites development and use.

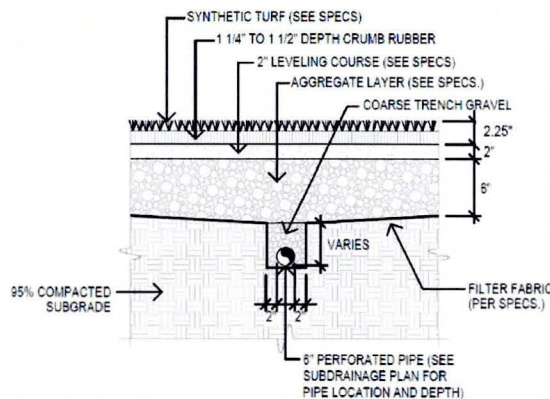
A limited Phase II Site Investigation was completed by Brownfield Environmental Engineering Resources, LLC (Brownfield) in March of 2020, to assess current contaminant levels of soil and groundwater in the major work areas where site improvements are planned (i.e. building construction, and site utility installation). The Phase II SI, included as Attachment C, confirmed the presence of contaminants above the WI NR 720 Preventative Action Limits (PAL) and Enforcement Standards (ES) for both soil and groundwater at the site.

A comprehensive Environmental Site Health & Safety Plan has been developed to protect workers completing the site improvements by monitoring site conditions to determine appropriate levels of personal protective equipment (PPE). The Health & Safety Plan is included as Attachment D.

A Soil Management Plan has been developed for the proposed site redevelopment and is included as Attachment E. The Soil Management Plan outlines procedures for effective handling of contaminated soil and groundwater at the site, and provides requirements for offsite landfill disposal of soil removed from the site. The project team will reuse existing soils on site to the greatest extent possible.

The proposed site improvements will become engineered barriers as required by the DNR's Final Case Closure for the site. Proposed Engineered Barrier features include the following:

- Buildings and permanent structures
- Sidewalks and paved surfaces for driving and parking
- Green spaces and pervious areas with 3 feet of clean fill material
- Synthetic Turf Athletic Playing Surface

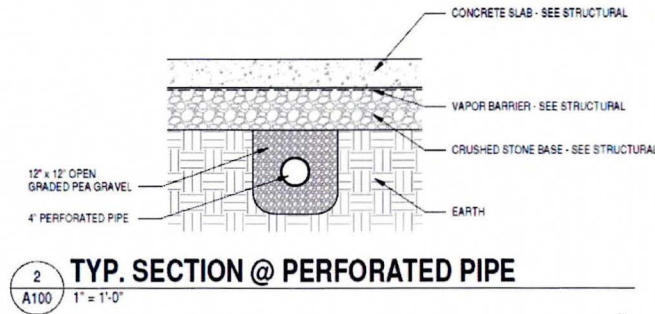


B SYNTHETIC TURF CROSS SECTION NTS
 PF-4

Vapor intrusion from residual soil contamination is being addressed through the installation of a vapor barrier and passive vapor collection system under the concrete slabs of all buildings on site. The vapor barrier material and installation will include the following:

1. The vapor barrier material permeance (water-vapor transmission rating or “perm”) needs to be 0.1 perm or less, or a Class I Vapor Retarder as defined by the International Building Code (IBC). In addition to low permeance, the vapor barrier material needs to exhibit overall strength and puncture resistance qualities. It is our recommendation to utilize W.R. Meadow’s PERMINATOR 15 MIL material or equivalent, to construct a vapor barrier. Installation of the vapor barrier should follow the guidelines of ASTM E 1643 and the manufacturer’s recommendations including:
 - a. Overlap joints 6 inches and seal with manufacturer’s tape.

- b. Lap vapor barrier over footings and/or seal to foundation walls.
 - c. Seal all penetrations (including pipes) per manufacturer's instructions.
 - d. Repair damaged areas by cutting a patch of vapor barrier, overlapping damaged area 6 inches on all sides and taping all sides with seam tape or by manufacturer's recommendations.
2. The vapor collection system will consist of 4-inch perforated pipe installed in a bed of pea gravel, with laterals on 10-foot centers, connected to a header pipe which is exhausted to the exterior of the building above the roof.
- a. The system will be designed and installed so that it can be converted to an active system in the future if needed.
 - b. The typical section is as shown below:



Form 4400-237 Technical Assistance, Environmental Liability Clarification or Post Closure Modification Request is included as Attachment F, as we are requesting a written response from the Department regarding the proposed post closure changes referenced above. The Post-Closure Modification review fee of \$2,400.00 is included, as determined from Section 3 of the form.

Development at Historic Fill Site or Licensed Landfill Exemption Application

Form 4400-226 Development at Historic Fill Site or Licensed Landfill Exemption Application and the required \$700 fee, has been completed and is included with this submittal as Attachment G. The information outlined and referenced in this submittal describes the actions to be taken and engineering controls that will be implemented to prevent or minimize adverse environmental impacts and potential threats to human health and welfare, including worker safety. All soil removed from the site will be disposed of at a landfill, and the proposed site improvements as shown on the Site Layout Plan in Attachment A will be incorporated as Engineered Barriers for the site closure.

Additionally, Form 4400-315 Recommended Template for Request to Manage Materials under Wis. Admin. Code NR718.12 or NR718.15 has been completed to assist the DNR with the review process, and is included with this submittal as Attachment H.

Total Fee Payment Included

\$1,050.00	Post Closure Modification Fee (Form 400-237)
\$300.00	Sites with Residual Soil Contamination Fee (Form 400-237)

\$350.00 Sites with Residual Groundwater Contamination Fee (Form 400-237)
\$700.00 Development at Historic Fill Site Fee (Form 4400-226)
\$2,400.00 Total

Please let me know if you have any questions or need any additional information. I can be reached at 608-856-5434 or brad@brownfieldusa.com.

Sincerely,



Bradley A. Brown, P.E.
Principal

CC: Hendricks Commercial Properties, Attn: John Gackstetter, VP of Development, 655 Third Street, Suite 301, Beloit, WI 53511

Attachments

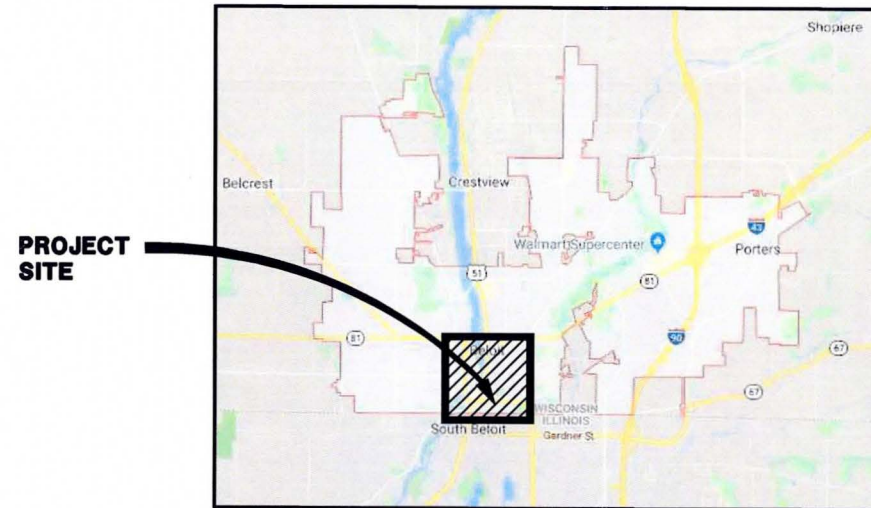
- A Site Layout Plan
- B Phase I Environmental Site Assessment
- C Phase II Site Investigation Report
- D Health & Safety Plan
- E Soil Management Plan
- F Form 4400-237 Technical Assistance, Environmental Liability Clarification or Post Closure Modification Request and \$1,700.00 fee payment - One form for each site – 11 Shirland Av., and 202 Shirland Av.
- G Form 4400-226 Development at Historic Fill Site or Licensed Landfill Exemption Application and \$700 fee payment – One form for each site – 11 Shirland Av., and 202 Shirland Av.
- H Form 4400-315 Recommended Template for Request to Manage Materials under Wis. Admin. Code NR718.12 or NR718.15

RIVERBEND STADIUM

OWNER/DEVELOPER
 HENDRICKS COMMERCIAL PROPERTIES LLC
 525 3RD ST, SUITE 300
 BELoit, WI 53511

SURVEYOR/ENGINEER
 JONES PETRIE RAFINSKI CORP.
 325 LAFAYETTE BLVD.
 SOUTH BEND, IN 46001

CITY OF BELoit



INDEX OF PLANS

- G101 COVER
- G100 SURVEY PLAN
- C101 OVERALL PLAN
- C102 TYPICAL CROSS SECTIONS
- C103 DEMOLITION PLAN
- C200 DIMENSIONAL LAYOUT PLAN
- C201 DIMENSIONAL PLAN - ZONE A
- C202 DIMENSIONAL PLAN - ZONE B
- C203 DIMENSIONAL PLAN - ZONE C
- C204 DIMENSIONAL PLAN - ZONE A LEFT FIELD ENLARGEMENT
- C205 DIMENSIONAL PLAN - ZONE A CENTER FIELD ENLARGEMENT
- C206 DIMENSIONAL PLAN - ZONE B HOME PLATE ENLARGEMENT
- C207 DIMENSIONAL PLAN - ZONE B RIGHT FIELD ENLARGEMENT
- C300 GRADING LAYOUT PLAN
- C301 GRADING PLAN - ZONE A
- C302 GRADING PLAN - ZONE B
- C303 GRADING PLAN - ZONE C
- C401 UTILITY LAYOUT PLAN
- C402 UTILITY PLAN - ZONE A
- C403 UTILITY PLAN - ZONE B
- C404 UTILITY PLAN - ZONE C
- C501 EROSION CONTROL PLAN
- C502 EROSION CONTROL DETAILS
- C600 LANDSCAPE LAYOUT PLAN, NOTES AND DETAILS
- C601 LANDSCAPE PLAN - ZONE A
- C602 LANDSCAPE PLAN - ZONE B
- C603 LANDSCAPE PLAN - ZONE C
- C801 NETTING PLAN
- C802 NETTING DETAILS
- CD100 ALTERNATES
- CD101 SITE DETAILS - WALLS
- CD102 SITE DETAILS - WALLS
- CD103 SITE DETAILS - WALLS
- CD104 SITE DETAILS - WALLS
- CD105 SITE DETAILS - WALL ELEVATIONS
- CD106 SITE DETAILS - STAIRS
- CD107 SITE DETAILS - PLAYGROUND
- CD108 SITE DETAILS - DRINK RAIL
- CD109 SITE DETAILS - GATEWAYS
- CD110 SITE DETAILS - FENCES & GATES
- CD111 SITE DETAILS - PAVEMENT
- CD112 SITE DETAILS - CURB RAMPS
- CD113 SITE DETAILS - CURB RAMPS
- CD114 SITE DETAILS - UTILITIES
- CD115 SITE DETAILS - UTILITIES
- CD116 SITE DETAILS HAWK PEDESTRIAN SIGNAL
- CD117 SITE DETAILS HAWK PEDESTRIAN SIGNAL
- CD118 SITE DETAILS HAWK PEDESTRIAN SIGNAL
- CD119 SITE DETAILS HAWK PEDESTRIAN SIGNAL
- PLAYING FIELD SHEETS
- PF1 BASEBALL AND SOCCER FIELD GRADING PLAN
- PF2 SUBDRAINAGE PLAN
- PF3 BASEBALL FIELD DIMENSIONING PLAN
- PF4 DETAILS AND SECTIONS
- ELECTRICAL SHEETS
- EP101 ELECTRICAL SITE PLAN - POWER AND SIGNAL
- EL101 ELECTRICAL SITE PLAN - LIGHTING
- EP101C ELECTRICAL SITE PLAN - LIGHTING CALCULATIONS
- EP512 ENLARGED PLAN - TRANSFORMER AND GENERATOR YARD DETAIL
- EB11 SPORTS LIGHTING CRITERIA

IMPORTANT UNDERGROUND UTILITY NOTES

EXISTING UNDERGROUND UTILITIES SHOWN IN THESE PLANS ARE BASED ON EVIDENCE OF ABOVE GROUND FEATURES, ON LOCATIONS MARKED IN THE FIELD BY OTHERS, OR ON RECORD INFORMATION PROVIDED BY UTILITY COMPANIES. PIPE INVERT ELEVATIONS WERE MEASURED WITHOUT ENTERING CONFINED SPACES. NO EXCAVATION SHOULD OCCUR WITHOUT NOTIFICATION OF APPROPRIATE AGENCIES AND UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF PIPE INVERT ELEVATIONS AND UTILITY LOCATIONS, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY IF CONFLICTS ARE DISCOVERED.

GENERAL NOTES

FOR PROTECTION OF UNDERGROUND UTILITIES, CONTRACTOR SHALL CALL 1-800-362-5844 A MINIMUM OF THREE WORKING DAYS PRIOR TO EXCAVATING IN THE VICINITY OF UTILITY LINES. ALL WISCONSIN AND ILLINOIS 811 PARTICIPATING MEMBERS WILL BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE PART OF THE WISCONSIN AND ILLINOIS 811 ALERT SYSTEM.

IF ANY ERRORS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.

THE CONTRACTOR SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE LOCAL GOVERNMENT, WISCONSIN DEPARTMENT OF NATURAL RESOURCES AND THE WISCONSIN AND ILLINOIS DEPARTMENT OF ENVIRONMENTAL MANAGEMENT, AND THE WISCONSIN AND ILLINOIS DEPARTMENT OF TRANSPORTATION.

THE CONTRACTORS SHALL MAKE WHATEVER SOIL BORINGS NECESSARY TO FULLY ACQUAINT THEMSELVES WITH CONDITIONS AS THEY EXIST SO THAT THEY MAY FULLY UNDERSTAND THE CONDITIONS WHICH MAY AFFECT THE COST OF THE WORK. FAILURE TO MAKE SUCH BORINGS OR ANY BORINGS MADE WHICH DO NOT PROVIDE A COMPLETE UNDERSTANDING OF THE CONDITIONS ENCOUNTERED SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR CARRYING OUT ALL THE WORK TO COMPLETION AS SHOWN ON THE PLANS, OR AS SPECIFIED, AT THE PRICE SPECIFIED TO BE PAID FOR THE WORK. WHERE THE RESULTS OF ANY TEST BORINGS ARE SHOWN ON THE PLANS, THE INFORMATION IS NOT GUARANTEED AND THE CONTRACTOR MUST SATISFY HIMSELF AS TO THE CHARACTER OF MATERIALS THAT MAY BE ENCOUNTERED.

THE CONTRACTOR SHALL FOLLOW THE IOSHA REGULATIONS 29 C.F.R. 1926 SUBPART F, FOR TRENCH SAFETY SYSTEMS. THE COST FOR TRENCH SAFETY SYSTEMS SHALL BE INCORPORATED INTO THE PAY ITEM OF THE PRINCIPAL WORK WITH WHICH THE SAFETY SYSTEMS ARE ASSOCIATED. THE CONTRACTOR SHALL OTHERWISE BE RESPONSIBLE FOR SAFETY IN REGARD TO THE PROJECT'S CONSTRUCTION.

BRIAN B. KONARSKI PE E-47562-8 DATE
 COVERING DESIGN IN WISCONSIN
 REGISTERED PROFESSIONAL ENGINEER STATE OF WISCONSIN

JPA, INC. A PENNSYLVANIA AFFILIATE OF: JONES PETRIE RAFINSKI SOUTH BEND, IN 46001 P. 574.327.2793 F. 574.327.4388	
RIVERBEND STADIUM 217 FARLAND AVENUE BELoit, WISCONSIN RIVERBEND STADIUM AUTHORITY 525 3RD STREET SUITE 300 BELoit, WISCONSIN	
DESIGNED BY: AGC	
REVIEWED BY: BJK	
DRAWN BY: NGO	
DATE: MARCH 13, 2020	
JOB NO./REV: 2019-0294	
SCALE: 1"=50'	
G101	

CURVE TABLE ALONG PROPERTY LINE

Curve No.	Radius (ft)	Length (ft)	Chord (ft)	Area (sq ft)
1	100	100	100	15708
2	100	100	100	15708
3	100	100	100	15708
4	100	100	100	15708
5	100	100	100	15708
6	100	100	100	15708
7	100	100	100	15708
8	100	100	100	15708
9	100	100	100	15708
10	100	100	100	15708

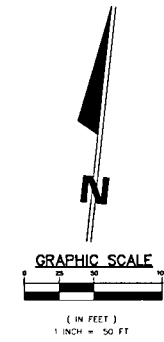
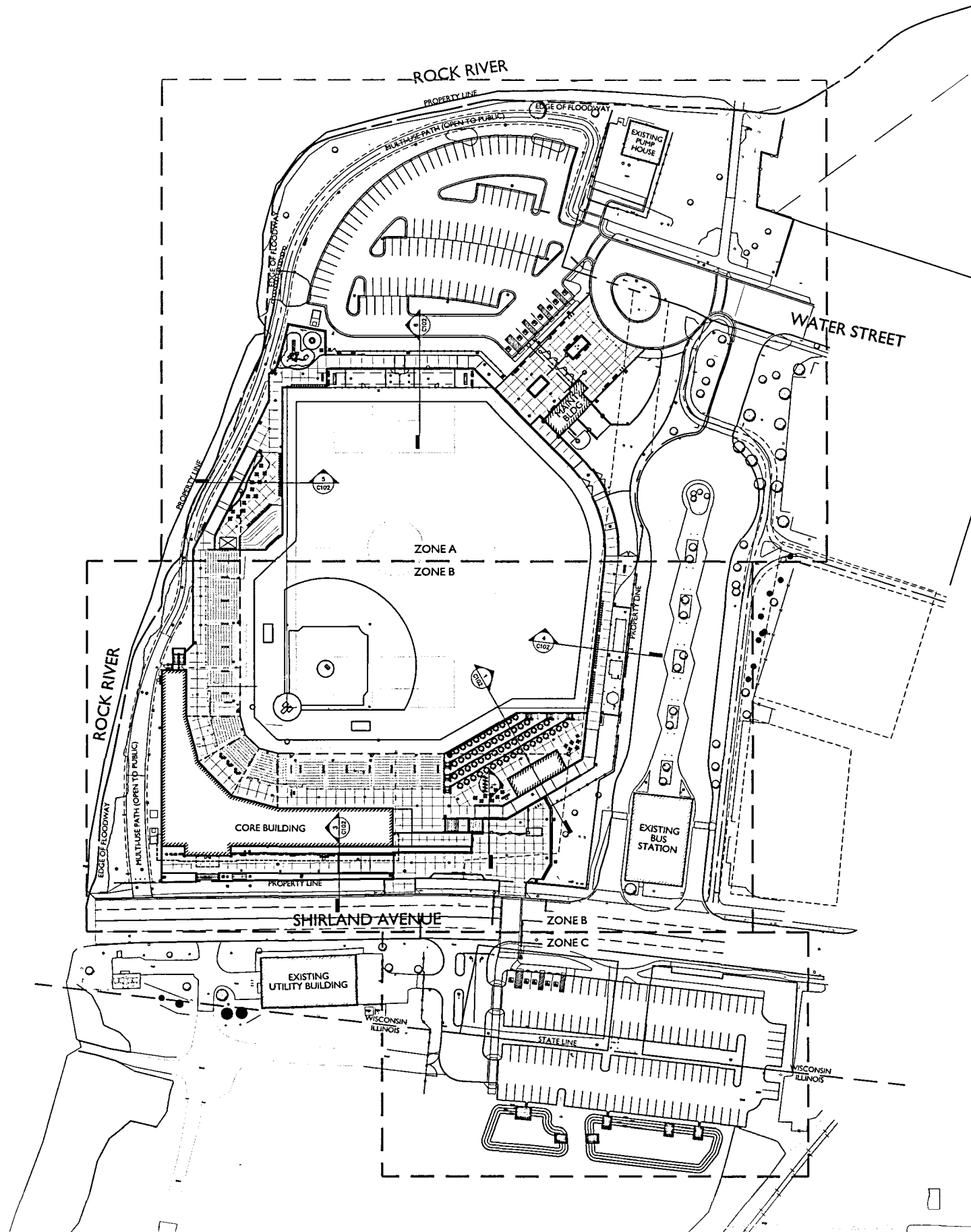
TABULATED SITE DATA

- ADREASE OF SITE (399,608 SF) 9.17 AC
- PROPOSED LAND USE: MINOR LEAGUE BASEBALL STADIUM
- PROPOSED PARKING RATIO UTILIZING STUDY AND ANALYSIS: BASEBALL STADIUM
 - 3,500 PEOPLE MAX CAPACITY
 - 1 SPACE PER 4 PERSON MAX SEATING CAPACITY
 - NUMBER OF SPACES REQUIRED - 875
 - NUMBER OF SPACES PROVIDED IN PROPOSED ADJACENT PARKING LOTS - 226
 - NUMBER OF PUBLIC PARKING SPACES UTILIZED WITHIN A 10 MINUTE WALKING DISTANCE - 817
 - NUMBER OF ADA SPACES PROVIDED - 13
 - NUMBER OF EXTRA SPACES - 168
- PROPOSED LAND COVERAGE:

	SQUARE FOOTAGE	% OF SITE
A. BUILDINGS	22,211	5.6%
B. PAVEMENT	196,818	49.2%
C. OPEN SPACE	170,579	42.2%
TOTAL	399,608	100.0%
- SURFACE RUN-OFF AND DRAINAGE TO BE COLLECTED ON-SITE THROUGH A SERIES OF INLETS AND STORM SEWER PIPES AND DISCHARGED IN ROCK RIVER, UTILIZING THE EXISTING STORM SEWER OUTFALLS.
- BUILDINGS WILL BE CONNECTED TO THE CITY OF BELoit WATER & SANITARY SEWER SYSTEMS.
- PARKING SPACES ARE TO MEET THE CITY OF BELoit STANDARDS.
- PROPOSED ACCESS DRIVES WILL UTILIZE WATER STREET AND SHIRLAND AVENUE.
- PROPOSED CORE BUILDING IS TO BE THREE STORY.
- PROPOSED SPORTS FIELD LIGHTING SHALL BE A MAXIMUM OF 150' IN HEIGHT.

ZONING & SETBACKS

- ZONING**
 EXISTING ZONING - CBD-2 (CENTRAL BUSINESS - FRINGE) & PU
 PROPOSED ZONING - PUB
- PROPOSED BUILDING SETBACKS**
 FRONT YARD 15'
 SIDE YARD 5'
 REAR YARD 5'
- PROPOSED PARKING & DRIVE SETBACKS**
 FRONT YARD 0'
 SIDE YARD 0'
 REAR YARD 0'

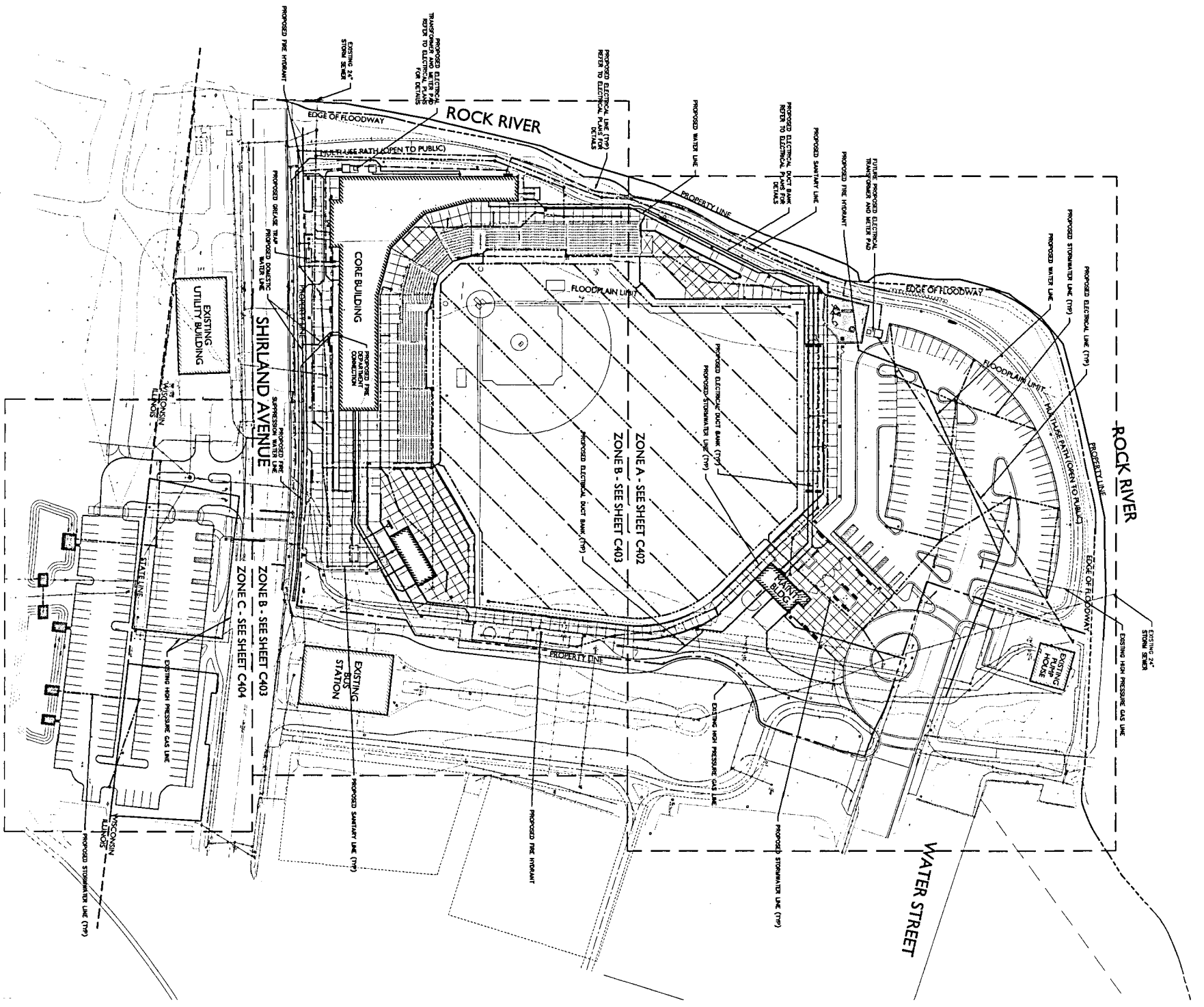


JPA & INC. A PENNSYLVANIA AFFILIATE OF JONES PETRIE RAFINSKI SOUTH BEND, IN 46708 FORT WAYNE, IN 46802 574.331.6189 574.331.3732	
RIVERBEND STADIUM 217 SHIRLAND AVENUE, BELoit, WISCONSIN RIVERBEND STADIUM AUTHORITY 225 3RD STREET, SUITE 300, BELoit, WISCONSIN	
OVERALL PLAN	
DESIGNED BY AGC	DATE MARCH 13, 2020
REVIEWED BY BSK	JOB NUMBER 2019-0214
DRAWN BY NGD	SCALE 1"=50'
C101	

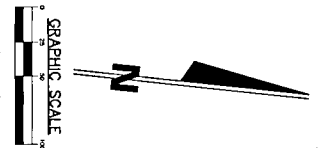
- LEGEND**
- ① PROPOSED SANITARY MANHOLE
 - ② PROPOSED STORM MANHOLE
 - ③ PROPOSED CATCH BASIN
 - ④ PROPOSED OFFICE TRAP
 - ⑤ PROPOSED SLOTTED BANK
 - ⑥ PROPOSED SANITARY LINE
 - ⑦ PROPOSED STORM LINE
 - ⑧ PROPOSED WATER LINE
 - ⑨ PROPOSED GAS LINE
 - ⑩ UTILITY EXISTENT (MIN. 12" DIA)
 - ⑪ EXISTING ELECTRICAL CONDUIT
 - ⑫ EXISTING GAS LINE
 - ⑬ EXISTING TELEPHONE
 - ⑭ EXISTING WATER LINE
 - ⑮ EXISTING OVERHEAD LINE
 - ⑯ EXISTING STORM SEWER
 - ⑰ EXISTING SANITARY LINE
 - ⑱ EXISTING SANITARY FORCE MAIN
 - ⑲ EXISTING FORCE MAIN
 - ⑳ EXISTING WATER LINE

NOTES

1. CONTRACTOR SHALL MAINTAIN 12" MIN. CLEARANCE FROM ALL EXISTING AND PROPOSED UTILITIES.
2. CONTRACTOR SHALL MAINTAIN 12" MIN. CLEARANCE FROM ALL EXISTING AND PROPOSED UTILITIES.
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19. CONTRACTOR SHALL MAINTAIN 12" MIN. CLEARANCE FROM ALL EXISTING AND PROPOSED UTILITIES.
20. CONTRACTOR SHALL MAINTAIN 12" MIN. CLEARANCE FROM ALL EXISTING AND PROPOSED UTILITIES.



PERMIT SET - NOT FOR CONSTRUCTION



<p>RIVERBEND STADIUM 217 SHIRLAND AVENUE BELLEVILLE, WISCONSIN RIVERBEND STADIUM AUTHORITY 525 3RD STREET SUITE 300 BELLEVILLE, WISCONSIN</p>		<p>IPA PA INC. A PENNSYLVANIA AFFILIATE OF: JONES PETRIE RAFINSKI ELKHART, IN SOUTH BEND, IN FORT WAYNE, IN P. 574.293.7762 P. 574.237.4388 P. 260.422.2522</p>		<table border="1"> <thead> <tr> <th>REV.</th> <th>DESCRIPTION</th> <th>BY</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV.	DESCRIPTION	BY	DATE												
REV.	DESCRIPTION	BY	DATE																	
<p>DATE: MARCH 11, 2020 DRAWN BY: NMD CHECKED BY: NMD SCALE: 1" = 30'</p>	<p>PROJECT NO: 2018-0234 SHEET NO: C401</p>	<p>UTILITY LAYOUT PLAN</p>																		

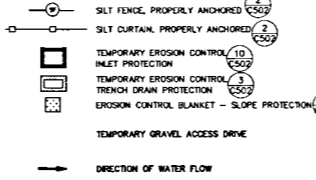
EROSION CONTROL NOTES

1. POST WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) CERTIFICATES OF PERMIT COVERAGE ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED, THE SITE IS STABILIZED AND A NOTICE OF TERMINATION IS FILED WITH WDNR.
2. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
3. SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE OWNER AT LEAST 5 WORKING DAYS PRIOR TO FIELD IMPLEMENTATION.
4. THE CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS, AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.3 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE FOR REVIEW UPON REQUEST.
5. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
6. WHEN POSSIBLE PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 2:1 OR MORE, MINIMIZE SOIL COMPACTION AND PRESERVE TOPSOIL.
7. REFER TO THE OWNER STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT: http://dnr.wisconsin.gov/topic/stormwater/standards/conserv_standards.html
8. INSTALL PERIMETER EROSION CONTROLS AND ROCK TRACKING PAD CONSTRUCTION ENTRANCES PRIOR TO ANY LAND-DISTURBING ACTIVITIES INCLUDING CLEARING AND GRUBBING. USE WDNR TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1027 FOR ROCK CONSTRUCTION ENTRANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROMPTLY CLEANING UP ANY MATERIALS FROM PUBLIC ROADWAYS, WHICH ARE THE RESULT OF WORK OPERATIONS.
9. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1008.
10. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDNR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1007.
11. PERMITTING OF GROUNDWATER DEWATERING IS THE RESPONSIBILITY OF THE CONTRACTOR. GROUNDWATER DEWATERING IS SUBJECT TO A DNR WASTEWATER DISCHARGE PERMIT AND A DNR HIGH CAPACITY WELL APPROVAL IF CUMULATIVE PUMP CAPACITY IS 70 GPM OR MORE.
12. PROVIDE ANTI-SOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WDNR TECHNICAL STANDARD DEWATERING #1001.
13. COMPLETE AND STABILIZE SEDIMENT BASINS/TRAPS OR NET PONS PRIOR TO MASS LAND DISTURBANCE TO CONTROL RUNOFF DURING CONSTRUCTION. REMOVE SEDIMENT AS NEEDED TO MAINTAIN 3 FEET OF DEPTH TO THE OUTLET AND PROPERLY DISPOSE OF SEDIMENT REMOVED DURING MAINTENANCE (REFER TO NR 525). CONSTRUCT AND MAINTAIN THE SEDIMENT BASIN PER WDNR TECHNICAL STANDARD SEDIMENT BASIN #1006 AND SEDIMENT TRAP #1005.
14. INSTALL AND MAINTAIN SILT FENCE PER WDNR TECHNICAL STANDARDS SILT FENCE #1006. REMOVE SEDIMENT FROM BEHIND SILT FENCES, SILT CURTAINS AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE HALF OF THE FENCE AND/OR BARRIER HEIGHT.
15. REPAIR BREAKS AND GAPS IN SILT FENCES, SILT CURTAINS AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAIN BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL AND MAINTAIN STRAIN BALES PER WDNR TECHNICAL STANDARDS DITCH CHECKS #1002.
16. INSTALL AND MAINTAIN FILTER SOCKS IN ACCORDANCE WITH WDNR TECHNICAL STANDARD INTERM MANUFACTURED PERMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS #1071.
17. IMMEDIATELY STABILIZE STOCKPILES AND SURROUNDING STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
18. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15, STABILIZE WITH MULCH, TACKIFIER AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS OR ANNUAL RYE AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER, STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
19. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
20. SWEEP AND/OR CLEAN-UP ALL SEDIMENT AND TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE. SEPARATE SHEET MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
21. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES #1006.
22. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
23. COORDINATE WITH THE OWNER TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATIONS FOR ANY EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL BE Hauled OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, MAT BALES, FILTER SOCKS OR COMPACTED EARTHEN BEDS).
24. FOR NON-CHANNELIZED FLOW OR DISTURBED OR CONSTRUCTION SLOPES, PROVIDE CLASS II TYPE A EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDNR'S PRODUCT ACCEPTABILITY LIST. INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD CHANNEL EROSION MAT #1003.
25. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS I TYPE A EROSION CONTROL MATTING. SELECT EROSION CONTROL MATTING FROM APPROPRIATE MATRIX IN WDNR'S PRODUCT ACCEPTABILITY LIST (PAL). INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD CHANNEL EROSION MAT #1003.
26. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.
27. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE WDNR REMEDIATION AND WASTE MANAGEMENT REQUIREMENTS FOR HANDLING AND DISPOSING OF CONTAMINATED MATERIALS. SITE SPECIFIC INFORMATION FOR AREAS WITH KNOWN OR SUSPECTED SOIL AND/OR GROUNDWATER CONTAMINATION CAN BE FOUND ON WDNR'S BUREAU OF REMEDIATION AND DEVELOPMENT TRACKING SYSTEM (BRTS) PUBLIC DATABASE AT: <http://dnr.wisconsin.gov/bots/>
28. REFER TO THE RIVERBEND STADIUM SPILL PLAN IF THERE IS A DISCHARGE OF SEDIMENT AND/OR OTHER CONTAMINANTS. A SPILL PLAN IS REQUIRED IF THERE IS POTENTIAL TO DISCHARGE CONTAMINANTS TO WATERS OF THE STATE.
29. REFER TO THE RIVERBEND STADIUM FRAC OUT PLAN IF AN UNADVERTENT DISCHARGE OF DRILLING FLUIDS ("FRAC OUT") OCCURS. A SPILL PLAN IS REQUIRED IF THERE IS POTENTIAL TO DISCHARGE CONTAMINANTS TO WATERS OF THE STATE.
30. INSTALL AND MAINTAIN A CONCRETE WASHOUT BASIN PER EPA 633-F-11-006. <http://www3.epa.gov/t3/eprca/pubs/conservwashout.pdf>. REQUIRE USE BY ALL CONCRETE CONTRACTORS. LIQUID MAY BE REUSED IN CONCRETE MIXING, EVAPORATED OR DISPOSED OF AS WASTEWATER.
31. THE JOB WISE SEQUENCE OF GENERAL WORK OPERATIONS RELATING TO EARTH DISTURBING ACTIVITIES SHALL BE SUCH AS TO PREVENT THE POTENTIAL FOR EROSION AND SEDIMENTATION. THE SEQUENCE SHALL BE GENERALLY AS FOLLOWS, WHILE ALSO CONSIDERING MAINTENANCE OF TRAFFIC.
 - A. SITE CLEARING AND BUILDING DEMOLITION
 - B. TEMPORARY SEEDING AS NEEDED - INCIDENTAL APPLICATIONS THROUGHOUT CONSTRUCTION
 - C. UNDERGROUND CONSTRUCTION
 - D. ROUGH GRADING AND FINISH GRADING
 - E. BUILDING CONSTRUCTION
 - F. PAVEMENT CONSTRUCTION
 - G. COMPLETION OF PERMANENT SEEDING
 - H. MOBILIZATION CONSTRUCTION
 - I. FINAL CLEANUP
32. THE EROSION AND SEDIMENTATION CONTROL MEASURES AS SHOWN SHALL BE CONSIDERED A MINIMUM APPLICATION AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING EROSION AND SEDIMENTATION CONTROL BEST MANAGEMENT PRACTICES AS NEEDED THROUGHOUT THE CONSTRUCTION.
33. THE CONTRACTOR SHALL AVOID UNNECESSARILY DISTURBING OR REMOVING EXISTING VEGETATED TOPSOIL OR EARTH COVER ALONG THE PROJECT PERIMETER. THESE AREAS ACT AS SEDIMENT FILTERS.
34. PERMITS FOR CONSTRUCTION ACTIVITIES SOUTH OF SHIRLAND AVENUE SHALL BE SUBMITTED SEPARATELY.
35. REFER TO THE PROJECT SITE GEOTECHNICAL REPORT, PREPARED BY TERRACON CONSULTANTS INC., FOR EXISTING SUBGRADE DETAILS AND SITE PREPARATION REQUIREMENTS FOR CONSTRUCTION OF PROPOSED SITE IMPROVEMENTS.
36. 100' X 100' CONSTRUCTION STAGING AREA FOR CONSTRUCTION EQUIPMENT AND MATERIALS.

EROSION CONTROL & CONSTRUCTION SEQUENCE

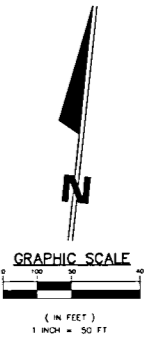
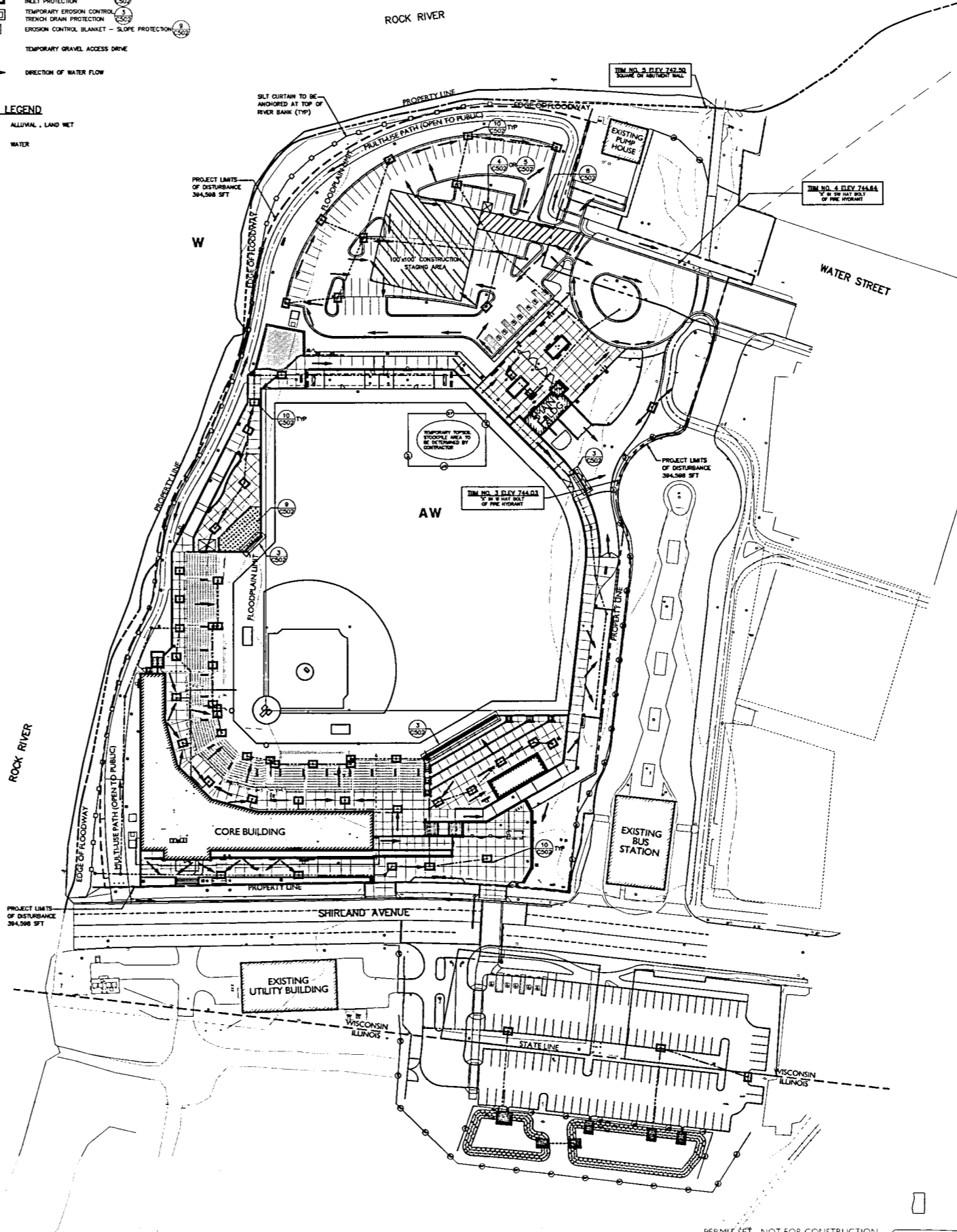
1. OVERALL CONSTRUCTION PERIOD - 365 DAYS
2. SITE MOBILIZATION
INSTALL TEMPORARY SOIL EROSION AND SEDIMENTATION (SESC) MEASURES, INCLUDING SILT CURTAIN, SILT FENCE, TEMPORARY CONSTRUCTION ENTRANCE & INLET PROTECTION ON EXISTING BUILDING STRUCTURES PRIOR TO LAND DISTURBANCE.
3. SITE CLEARING & DEMOLITION OF STADIUM SITE - 30 DAYS
INCLUDES STOPPING & STOCKPILING OF TOPSOIL.
REMOVAL OF EXISTING SITE PAVEMENT AS REQUIRED.
INLET PROTECTION SHALL BE MAINTAINED ON STORM INLET STRUCTURES TO BE PROTECTED.
SILT FENCE SHALL BE IN PLACE ON SITE PERIMETER AS SHOWN.
SILT CURTAIN SHALL BE IN PLACE ALONG ROCK RIVER BANK AS SHOWN.
4. SITE UTILITY INSTALLATION - 60 DAYS
INSTALLATION OF PROPOSED SITE UTILITIES BY OPEN CUT EXCAVATION & HORIZONTAL DIRECTIONAL DRILLING AS REQUIRED.
INSTALL TYPE "B" INLET PROTECTION ON PROPOSED CATCH BASIN, INLET, FLOOR DRAIN & TRENCH DRAIN STRUCTURES.
INSTALL TYPE "A" INLET PROTECTION AT ALL STORM & SANITARY MANHOLES SHALL BE PROTECTED AS DETAILED UNTIL CONE SECTIONS WITH FRAME & GRATE ARE INSTALLED.
DEWATERING OPERATION SHALL BE IN PLACE WITH PUMPED WATER FILTER BAGS.
ROCK RIVER BANK SHALL BE PROTECTED DURING UTILITY INSTALLATIONS.
5. SITE FOUNDATIONS - 60 DAYS
EXCAVATION TO BOTTOM OF PROPOSED FOUNDATION ELEVATION & POURING OF CONCRETE FOUNDATION SYSTEMS.
DEWATERING OPERATION SHALL BE IN PLACE WITH PUMPED WATER FILTER BAGS.
6. CONSTRUCTION AND PLACEMENT OF PAVED/HARD SURFACES - 120 DAYS
PROTECTION MEASURES ON STORM SEWER INLETS AND MANHOLE STRUCTURES SHALL REMAIN IN PLACE.
SILT FENCE AND SILT CURTAINS SHALL REMAIN IN PLACE WITH REGULAR MAINTENANCE AND REPAIR AS REQUIRED.
7. CONSTRUCTION OF RETAINING WALLS - 120 DAYS
CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN A MANNER THAT DOES NOT DISTURB THE ROCK RIVER BANK.
SLOPE STABILIZATION AND TEMPORARY SEEDING/MULCHING SHALL BE PROVIDED TO PREVENT SLOPE EROSION.
8. TEMPORARY GRASS SEEDING AND MULCH SHALL BE APPLIED TO BARE GROUND AS RESULT OF CONSTRUCTION ACTIVITIES THAT SHALL REMAIN UNDISTURBED FOR A PERIOD OF 14 DAYS OR LONGER.
9. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED UPON COMPLETION OF LAND DISTURBING ACTIVITIES.
10. FINAL GRASS SEEDING AND SOIL SHALL BE APPLIED TO STABILIZED SURFACES AS DETAILED IN SITE LANDSCAPE PLANS.

EROSION CONTROL LEGEND



SOILS LEGEND

AW ALLUVIAL, LAND WET
W WATER



PERMITS SET - NOT FOR CONSTRUCTION

JONES PETRIE RAFFINSKI P/A INC. A PENNSYLVANIA AFFILIATE OF ELKHART, IN 46517-2162 SOUTH BEND, IN 46712-0189 FORT WAYNE, IN 46825-1372	
RIVERBEND STADIUM 217 SHIRLAND AVENUE BELLEVILLE, WISCONSIN RIVERBEND STADIUM AUTHORITY 343 3RD STREET BELLEVILLE, WISCONSIN	EROSION CONTROL PLAN
DESIGNED BY: AGC	DATE: MARCH 13, 2020
REVIEWED BY: BSK	JOB NUMBER: 2019-0294
DRAWN BY: NGD	SCALE: 1"=50'
C501	